



HARDIN COUNTY
Board of Supervisors

Wednesday, October 16, 2019

1. 10:00 A.M. Call To Order
Courthouse Large Conference Room
2. Pledge Of Allegiance
3. Approval Of Agenda
4. Approval Of Minutes

Documents:

[10-03-2019_MINUTES.PDF](#)
[10-09-2019_MINUTES.PDF](#)
[10-11-2019_MINUTES.PDF](#)

5. Approval Of Claims For Payment

Documents:

[VENDOR PUBLICATION REPORT 10-16-19.PDF](#)

6. Utility Permits & Secondary Roads Department

Documents:

[HEART OF IOWA UTILITY PERMIT APPLICATION.PDF](#)

7. Resolution To Terminate Participation In 28E Agreement/Central Iowa Recovery

Documents:

[RESOLUTION TO TERMINATE PARTICIPATION IN CIR 28E AGREEMENT.PDF](#)

8. Change Of Status - IRVM Department

Documents:

[CHANGE OF STATUS - IRVM.PDF](#)

9. Change Of Status - Sheriff's Office

Documents:

[CHANGE OF STATUS - SHERIFF.PDF](#)

10. Public Comments

Documents:

HARDIN COUNTY POLICY FOR PUBLIC COMMENT.PDF

11. Other Business

12. Adjournment/Recess

HARDIN COUNTY BOARD OF SUPERVISORS
MINUTES – OCTOBER 3, 2019
THURSDAY – 10:00 A.M.
COURTHOUSE LARGE CONFERENCE ROOM

Chair René McClellan called the meeting to order. Also present were Supervisor Lance Granzow, Beth Miller, Darrell Meyer, Micah Cutler, Julie Duhn, Pauline Lloyd, and Angela Silvey. Supervisor BJ Hoffman was absent.

The meeting was held to brainstorm options for finding additional money for rock for current and future fiscal years. Options discussed included:

1. Using \$1 million originally budgeted for the HVAC project to purchase rock.
2. Making a loan from the General Basic Fund to the Secondary Roads Fund, and repaying that loan with FEMA reimbursements.
3. Levying more in Rural Services.
4. Paying Secondary Roads' employer-paid benefits through the General Supplemental Fund, and levying more in that fund.
5. Special levies.
6. Bonding.
7. Purchasing rock through Debt Services.

Beth Miller, CPA, Bowman & Miller, PC, recommended using the \$1 million earmarked for the HVAC loan to purchase rock, paying whatever amount the County can manage on the loan, and reassessing the situation while preparing the FY 2021 budget. Miller acknowledged there are so many unknowns, such as decreasing valuations and weather, preventing the supervisors from developing a long-range plan at the present time.

Pauline Lloyd requested the exact amount of money borrowed for the HVAC project.

No action was necessary at this time; discussion only.

Granzow moved, McClellan seconded to adjourn. Motion carried.

René McClellan, Chair
Board of Supervisors

Jessica Lara
Hardin County Auditor

HARDIN COUNTY BOARD OF SUPERVISORS
MINUTES – OCTOBER 9, 2019
WEDNESDAY - 10:00 A.M.
COURTHOUSE LARGE CONFERENCE ROOM

Chair René McClellan called the meeting to order. Also present were Supervisor Lance Granzow, Lydia Reichenbacher, Dave Dunn, Angela De La Riva, Wes Wiese, Darrell Meyer, Taylor Roll, Pauline Lloyd, Matt Rezab, Jessica Sheridan, Julie Duhn, Machel Eichmeier, Lori Kadner, Jessica Lara, and Angela Silvey. Supervisor BJ Hoffman was absent.

The Pledge of Allegiance was recited.

Granzow moved, McClellan seconded to approve the agenda, with the following item removed: Resolution for Tax Abatement. Motion carried.

Granzow moved, McClellan seconded to approve the minutes of September 25, 2019. Motion carried.

Granzow moved, McClellan seconded to approve the October 9, 2019 claims for payment. Motion carried.

Secondary Roads Department:

Taylor Roll, County Engineer, advised that the road crew was pouring concrete on the Whitten county line blacktop.

Utility Permits:

Granzow moved, McClellan seconded to approve Hardin County Utility Permit Application 10-9-19 submitted by Midland Power Cooperative. Motion carried. Permit Application 10-9-19 is on file in the Engineer's Office.

Granzow moved, McClellan seconded to approve the wellness immunization program for County insureds as presented by the Wellness Committee. Motion carried.

McClellan opened bids for the lease of 151.5 acres of county agricultural land. The following four bids were received:

Rod McBain:	\$165/acre
Parker Krause:	\$220/acre
Todd Kjormoe:	\$265/acre
D & N Farms:	\$275/acre

Bidders will be notified by County Attorney Darrell Meyer of the option to raise their bids, and Meyer will present the top bid to the Board.

At the recommendation of Meyer, Granzow moved, McClellan seconded to table the agreement between the County and Elaine Frerichs. Motion carried.

Granzow moved, McClellan seconded to approve the request for quote from Alera Group for employee health care plan. Motion carried.

Granzow moved, McClellan seconded to set the deadline to receive applications for appointments to boards and commissions for November 8, 2019, at 4:30 p.m. in the Auditor's Office. Motion carried.

Granzow moved, McClellan seconded to approve the Auditor's Monthly Report for September 2019. Motion carried.

Granzow moved, McClellan seconded to approve the Recorder's Monthly Report for September 2019. Motion carried.

Granzow moved, McClellan seconded to approve the Sheriff's Monthly Report for September 2019. Motion carried.

Granzow moved, McClellan seconded to approve the hiring of Denise Smith, full-time Drainage Clerk, at a rate of \$16.92/hour, effective 10/07/2019. Motion carried.

A request from Auditor Jessica Lara for a one-time payment of \$2,500 to Becca Junker, for performing dual duties of Payroll and Employee Benefits Manager and Drainage Clerk from 8/22/2019 to 10/7/2019, was tabled. Granzow asked that a report of overtime hours worked by Junker be submitted to the Supervisors before any extra compensation is approved.

Granzow moved, McClellan seconded to approve the resignation of Brittany Small, Correctional Officer, effective 9/24/2019. Motion carried.

Public Comments:

Pauline Lloyd asked whether or not receipts from prisoner care could be made available for Secondary Roads.

Granzow moved, McClellan seconded to approve the hiring of Rochelle Caslavka, part-time Correctional Officer, at a rate of \$15.00/hour, effective 10/12/2019. Motion carried.

Granzow moved, McClellan seconded to approve the hiring of Maxwell Chapman, part-time Correctional Officer, at a rate of \$15.00/hour, effective 10/12/2019. Motion carried.

Granzow moved, McClellan seconded to approve the resignation of Drew Strom, Jail Sergeant, effective 10/12/2019. Motion carried.

Other Business: None.

Granzow moved, McClellan seconded to adjourn. Motion carried.

René McClellan, Chair
Board of Supervisors

Jessica Lara
Hardin County Auditor

HARDIN COUNTY BOARD OF SUPERVISORS
MINUTES – OCTOBER 11, 2019
FRIDAY – 3:00 P.M.
COURTHOUSE LARGE CONFERENCE ROOM

Chair Reneé McClellan called the meeting to order. Also present were Supervisor Lance Granzow, Megan DiCesare, Darrell Meyer, Justin Ites, Pauline Lloyd, Taylor Roll, Bruce Dieken, Lori Kadner, Julie Duhn, Machel Eichmeier, and Angela Silvey. Supervisor BJ Hoffman joined the meeting via phone.

Granzow moved, McClellan seconded to approve the agenda. Motion carried.

Hoffman moved, Granzow seconded to approve the resignation of Megan DiCesare, IRVM Roadside Management Biologist, effective 10/23/2019. Motion carried.

Discussion was held on the possibility of offering paid administrative leave to DiCesare. DiCesare advised she planned to close up loose ends and email contacts in her time remaining with the County. DiCesare made no mention of performing field work. Hoffman stated he saw no reason to have DiCesare on paid administrative leave if she is performing administrative tasks. No action was taken.

McClellan requested DiCesare's input on the future of the IRVM program in Hardin County. DiCesare noted that some counties have an IRVM plan on file, but no IRVM Department. In these counties, Secondary Roads designees carry out IRVM tasks. According to DiCesare, as long as an IRVM plan is on file, and updated every five years, a county is still eligible for grants.

Hoffman moved, Granzow seconded to temporarily assign the day-to-day operations of the IRVM Department and program to the Secondary Roads Department, under the guidance of Taylor Roll, County Engineer, effective 10/11/2019, and to allow DiCesare to finish her administrative tasks and confer with Roll to ensure a continuity of operations until the County can fill the IRVM director role on a permanent basis, if deemed necessary. Motion carried.

Comments were received from Julie Duhn.

Hoffman moved, Granzow seconded to adjourn. Motion carried.

Reneé McClellan, Chair
Board of Supervisors

Jessica Lara
Hardin County Auditor

Claims Paid - October 16, 2019

Aaron Boeler	\$400.00
Agsources Cooperative Serv	\$36.00
AgVantage FS	\$17,006.04
Alliant Energy	\$2,389.35
Angela De La Riva	\$171.45
Black Hawk County Treasurer	\$285.00
Business Radio Sales & Service Inc	\$1,230.00
Campbell Supply Co	\$491.97
Carol J Fletcher	\$49.30
CenturyLink	\$17.24
Cintas Corporation	\$862.12
City of Eldora	\$105.31
City of Radcliffe	\$68.86
Connie J Mesch	\$822.80
Cooley Pumping LLC	\$349.98
Countryside Turf & Timber	\$149.99
Culligan	\$124.05
Danita Wheatley	\$255.45
Diane Ryerson	\$250.00
Donnee Jackson	\$225.00
Don's Truck Sales Inc	\$240.41
Eagle Grove Police Department	\$30.00
Eldora City Ambulance	\$1,440.00
Eldora Hardware	\$10.99
Fareway Food Stores	\$68.76
Gary McEwen	\$250.00
Global Software / TAC10	\$5,180.00
GovConnection, Inc	\$10,642.55
Hardin Co Extension	\$105.00
Hardin Co Solid Waste & Recycl	\$177.32
Hawkeye West Pest Control	\$59.00
Heart of Iowa	\$1,166.04
IFADC	\$8,809.75
Innovative Ag Services	\$1,572.27
Iowa Dept of Natural Resources	\$95.00
Iowa Division of Labor- Elevator Safety	\$400.00
Iowa Law Enforcement Academy	\$375.00
Iowa Natural Heritage Foundati	\$300.00
Iron Mountain	\$61.52
ISAC	\$125.00
Jamie Kolthoff	\$78.08
Kirk Ridout	\$625.00
LiftOff LLC	\$306.00
M & G Tire Service	\$12.36
Marti Ferneau	\$89.20
Martin Marietta Aggregate	\$3,177.82
Mary F Nelson	\$61.20
Micah E Cutler	\$130.50
Mid American Energy	\$13.23
Mid-America Publishing	\$54.00
Mid-Iowa Community Action Inc.	\$187.50
Mike Murphy	\$250.00
Moler Sanitation	\$28.00
MTI Distributing, Inc	\$97.19
Murphy Tractor & Equipment	\$116.36
Napa Auto Parts	\$54.24
NAPA Auto Parts	\$142.24
NAPA Auto Parts	\$2,869.42
Omnicare Inc	\$428.92
Parker Manning	\$14.40
Petroblend	\$1,068.70
Polk County Treasurer	\$278.45
Priority Dispatch	\$1,180.00
R Comm Wireless	\$3,000.00
Radcliffe Telephone Co	\$313.57
RC Systems- Waterloo Office	\$9,557.50
Ryan McEwen	\$225.00
Sadler Power Train Inc	\$875.40
Schumacher Elevator Co.	\$501.85
Shield Pest Control	\$255.00
Sioux Sales Company	\$170.40

Speck Electric	\$523.29
State Medical Examiners Office	\$6,111.50
Summit Food Service LLC	\$4,006.89
Theisens	\$18.76
Thomas Craighton	\$344.25
Times Citizen	\$403.54
Timothy Rogers	\$19.80
Tina M Schlemme	\$260.00
US Bank Equipment Finance	\$4,471.49
USS Polaris	\$207.02
Veridian Credit Union	\$992.76
Weiland Lawn Care Service	\$316.00
Wesley Wiese	\$40.00
Wilcox Equipment	\$191.98
Winters Septic Service	\$250.00
Youth Shelter Care of North	\$1,632.75
Ziegler Incorporated	\$4,706.67

Grand Total **\$107,056.75**

Renee McClellan, Chair
Board of Supervisors

Jessica Lara
Hardin County Auditor



HARDIN COUNTY UTILITY PERMIT APPLICATION

Permit No: _____

- Underground
- Aerial

- Permanent Installation
- Temporary Installation

This is a Utility Permit Application for telecommunications, electric, gas, water and sewer utilities. The applicant agrees to comply with the following permit requirements. Compliance shall be determined by the sole discretion of the County Engineer as deemed necessary to promote public health, safety, and general welfare. These requirements shall apply unless waived in writing by the County Engineer prior to installation.

APPLICANT NAME: _____

STREET ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ FAX: _____ CONTACT PERSON: _____

TYPE OF WORK: _____

1. LOCATION PLAN

An applicant shall file a completed location plan as an attachment to this Utility Permit Application. The location plan shall set forth the location of the proposed line on the secondary road system and include a description of the proposed installation.

2. WRITTEN NOTICE

At least five (5) working days prior to the proposed installation, an applicant shall file with the County Engineer a written notice stating the time, date, location, and nature of the proposed installation.

3. INSPECTION

The County Engineer may provide a full-time inspector during the installation of all lines to ensure compliance with this Utility Permit. The inspector shall have the right, during reasonable hours and after showing proper identification, to enter any installation site in the discharge of the inspector's official duties, and to make any inspection or test that is reasonably necessary to protect the public health, safety, and welfare.

4. INSPECTION FEES

The applicant shall pay actual costs directly attributable to the installation inspection conducted by the County Engineer. Within thirty (30) days after completion of the installation, the County Engineer shall submit a statement for inspection services rendered. The applicant agrees to reimburse the county within thirty (30) days of billing.

5. REQUIREMENTS

The installation inspector shall assure that the following requirements have been met:

- A. Construction signing shall comply with the Manual on Uniform Traffic Control Devices
- B. Depth – (Add additional depth if ditch has silted to the thickness of the deposited silt.) The minimum depth of cover shall be as follows:

Telecommunications..... 36"	Electric.....48"
Gas..... 48"	Water.....60"
Sewer..... 60"	
- C. Minimum roadway overhead clearance for utility lines shall be 20 feet.
- D. The applicant shall use reference markers in the right-of-way (ROW) boundary to locate line and changes in alignment as required by the County Engineer. A permanent warning tape shall be placed one (1) foot above all underground utility lines.
- E. All tile line locations shall be marked with references located in the ROW line.
- F. No underground utility lines shall cross over a crossroad drainage structure without approval from the County Engineer.
- G. Residents along the utility route shall have uninterrupted access to the public roads. An all weather access shall be maintained for residents adjacent to the project.
- H. After construction, granular surfacing shall be added to the road by the applicant to restore the road to its original condition. After surfacing has been applied, the road surface shall be reviewed by the County Engineer once the road has been saturated, to determine if additional surfacing on the roadway by the applicant is necessary.
- I. All damaged areas within the ROW shall be repaired and restored to at least their former condition by the applicant or the cost of any repair work caused to be performed by the county will be assessed against the applicant.
- J. Areas disturbed during construction which present an erosion problem shall be solved by the applicant in a manner approved by the County Engineer.
- K. All trenches, excavations, and utilities that are knifed shall be properly tamped.
- L. All utilities shall be located between the bottom of the backslope and the bottom of the foreslope, unless otherwise approved in writing by the County Engineer prior to installation.
- M. Road crossing shall be bored. The depth below the road surface shall match the minimum depth of cover for the respective utility.

6. NON-CONFORMING WORK

The County Engineer may halt the installation at any time if the applicant's work does not meet the requirements set forth in this Utility Permit Application.

7. COUNTY INFRACTION

Violation of this permit is a county infraction under Iowa Code Section 331.307, punishable by a civil penalty of \$100 for each violation. Each day that a violation occurs or is permitted to exist by the applicant constitutes a separate offense.

8. HOLD HARMLESS

The utility company shall save this county harmless of any damages resulting from the applicant's operations. A copy of a certificate of insurance naming this county as an additional insured for the permit work shall be filed in the County Engineer's Office prior to installation. The minimum limits of liability under the insurance policy shall be \$1,000,000.

9. PERMIT REQUIRED

No applicant shall install any lines unless such applicant has obtained a Utility Permit from the County Engineer and has agreed in writing that said installation will comply with all ordinances and requirements of the county for such work. Applicants agree to hold the county free from liability for all damage to applicant's property which occurs proximately as a result of the applicant's failure to comply with said ordinances or requirements.

10. RELOCATION

The applicant shall, at any time subsequent to installation of utility lines, at the applicant's own expense, relocate or remove such lines as may become necessary to conform to new grades, alignment or widening of ROW resulting from maintenance or construction operations for highway improvements.

DATE: _____ COMPANY: _____

SIGNATURE: Filled out online _____

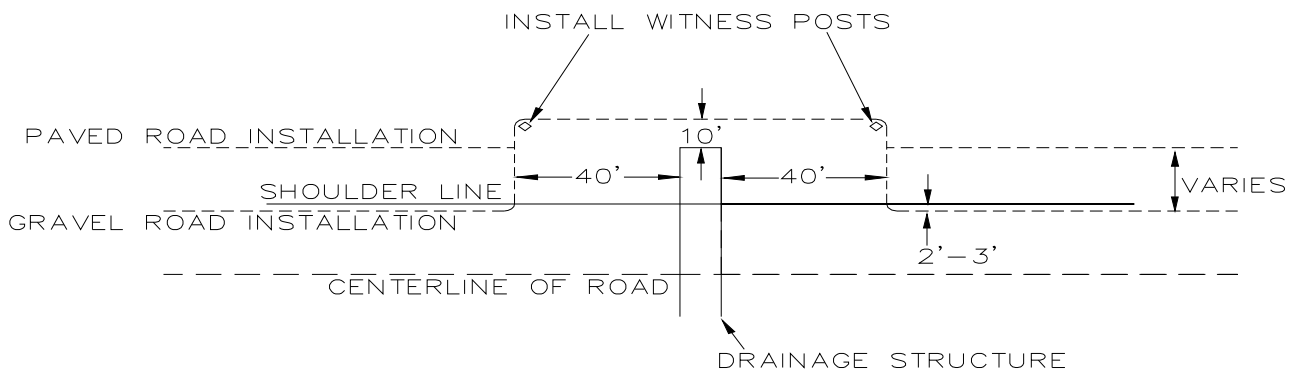
RECOMMENDED FOR APPROVAL:

DATE: _____ COUNTY ENGINEER _____

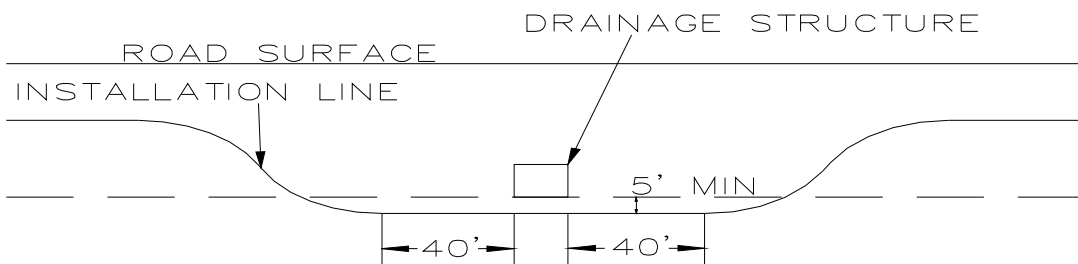
APPROVAL:

DATE: _____ CHAIRMAN, BOARD OF SUPERVISORS _____

NON-BORED INSTALLATION DETAIL



BORED INSTALLATION DETAIL



Where upon Board Member _____ moved that the following resolution be adopted:

RESOLUTION NO. _____

TO TERMINATE PARTICIPATION IN CENTRAL IOWA RECOVERY 28E AGREEMENT

WHEREAS, Hardin County is one of seven counties that entered a 28E Agreement forming Central Iowa Recovery, and

WHEREAS, Section 6.3 of the 28E Agreement permits any county to terminate participation upon sixty (60) days written notice given to the CIR board chair, and

WHEREAS, most other counties in the 28E Agreement have given notice to terminate participation, and

WHEREAS, the purpose and benefit of the 28E Agreement is diminished;

NOW THEREFORE, BE IT RESOLVED by the Board of Supervisors of Hardin County, Iowa, that Hardin County hereby terminates participation in the 28E Agreement / Central Iowa Recovery, and further directs the Chair of the Hardin County Board of Supervisors to give immediate to the Chair of the Board of Central Iowa Recovery written notice of termination and a copy of this Resolution.

The motion was seconded by Board Member _____ and after due consideration thereof, the roll was called and the following Board Members voted:

Ayes:

Nays:

Absent:

Abstain:

Whereupon, the Chair of the Board of Supervisors declared said Resolution duly passed and adopted this _____ day of October, 2019.

Renee McClellan, Chair
Board of Supervisors

Attest:

Jessica Lara, Hardin County Auditor



HARDIN COUNTY

Courthouse

HARDIN COUNTY COURTHOUSE
1215 EDGINGTON AVE.
ELDORA, IA 50627

FILED

OCT 11 2019

HARDIN COUNTY AUDITOR

HARDIN COUNTY Employee Change of Status Report

Please enter the following change(s) as of 10/11/2019
Date

Name: Lillian Kies

Department: IRVM

Address: N/A

Position: IRVM Intern

Fund: 0011-24-7140-000-10121

Salary/Hourly Rate: \$13.00/HR

Weekly Scheduled Hours: 40

This position is: Exempt Non-Exempt

Status: Full-time Permanent Part-time Temporary/Seasonal Part-time

Reason of Change:

- Hired
- Resignation
- Promotion
- Retirement
- Demotion
- Layoff
- Pay Increase
- Discharge
- Leave of Absence _____
Dates

Other: _____

Dates of Employment: 5/14/18 to 10/11/19
05/18/2018 From 10/10/2019 To

Last Day of Work 10/11/19
(if applicable) 10/10/2019

Beyond the last day of work, the following vacation time was (or will be paid): _____ to _____
From To

Authorized by: Lillian Kies
Elected Official or Department Head

10/11/2019
Date

Authorized by: _____
Board of Supervisors

Date


HARDIN COUNTY'S POLICY

FOR PUBLIC COMMENT


1. The "Public Comments" section of the agenda is your opportunity to address items not on the agenda. A speaker may speak to one (1) issue per meeting for a maximum of three (3) minutes. Official action cannot be taken by the Board at that time, but may be placed on a future agenda or referred to the appropriate department. Keep items germane and refrain from personal or slanderous remarks.
2. The public may address any item on the agenda after recognition by the Chair. State your name, address, and group affiliation (if appropriate). You may speak one (1) time for a maximum of three (3) minutes.

Adopted this 1st day of July, 2009.

HARDIN COUNTY BOARD OF SUPERVISORS


Jim Johnson, Chair


Erv Miller, Member


Ed Bear, Member